

# DA

CANTERBURY BANKSTOWN COUNCIL

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## SUSTAINABILITY COMMITMENTS

PRELIMINARY SUSTAINABILITY COMPLIANCE FOR YOUR HOME REQUIRES FURTHER ASSESSMENT TO DETERMINE COMPLIANCE CRITERIA. THIS ASSESSMENT WILL BE FINALISED UPON APPROVAL OF YOUR EXTERNAL COLOUR SELECTIONS TO DETERMINE IF VARIATIONS ARE REQUIRED TO THE PROPOSED DWELLING E.G. ADDITIONAL INSULATION, CHANGES IN WINDOW GLAZING / SIZE / ORIENTATION ETC. YOU WILL BE ADVISED OF ANY REQUIREMENTS OR ALTERNATIVES ONCE THE ASSESSMENT HAS BEEN COMPLETED.

### WATER COMMITMENTS

- 3 STAR (> 7.5 BUT <= 9L/MIN) SHOWER HEADS
- 4 STAR TOILET SUITES
- 4 STAR KITCHEN TAPS
- 5 STAR BATHROOM TAPS

364.13 m<sup>2</sup> TOTAL ROOF AREA

3050 L WATER TANK(S) MINIMUM CAPACITY  
184.00 m<sup>2</sup> MINIMUM ROOF AREA TO TANK(S)

- RAINWATER TANK(S) TO BE CONNECTED TO:
- AT LEAST ONE OUTDOOR TAP
  - ALL TOILETS
  - WASHING MACHINE

NO RETICULATED RECYCLED WATER SUPPLY

90 m<sup>2</sup> GARDEN/LAWN AREA

### ENERGY COMMITMENTS

#### HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 6 STAR

#### HEATING SYSTEM

- 3-PHASE REVERSE CYCLE AIR CONDITIONING EER 3.5 - 4.0

#### COOLING SYSTEM

- 3-PHASE REVERSE CYCLE AIR CONDITIONING EER 3.0 - 3.5

#### VENTILATION (EXHAUST FANS)

- AT LEAST ONE BATHROOM:  
DUCTED TO OUTSIDE AIR, INTERLOCKED TO LIGHT
- KITCHEN RANGEHOOD:  
DUCTED TO OUTSIDE AIR, MANUAL SWITCH ON/OFF
- NO MECHANICAL VENTILATION TO LAUNDRY

#### PRIMARY FLUORESCENT/LED LIGHTING INCLUDING COVER

- N/A

#### NATURAL LIGHTING TO

- 3 BATHROOMS/TOILETS

#### ALTERNATIVE ENERGY

- N/A

#### OTHER

- GAS COOKTOP, ELECTRIC OVEN
- FIXED OUTDOOR CLOTHESLINE BY OWNER

## BASIX AREAS

CONDITIONED	226.48
UNCONDITIONED	20.01

## TOTAL FLOOR AREAS

ALFRESCO	14.64
GARAGE	36.26
LIVING	273.35
PATIO	3.31
<b>327.56 m<sup>2</sup></b>	

## COMPLIANCE AREAS

LANDSCAPED AREA (FRONT)	92.97
-------------------------	-------

## GENERAL INFORMATION

THESE PLANS FEATURE WORKS REQUIRED BY THE OWNER THAT MAY BE EXCLUDED FROM THE SCOPE OF THE CONTRACT WITH THE BUILDER, BUT HAVE BEEN INCLUDED IN THESE DRAWINGS TO ASSIST IN THE OVERALL PLANNING AND ASSESSMENT. SOME REGULARLY EXCLUDED WORKS INCLUDE DRIVEWAYS, RETAINING WALLS AND SITE DRAINAGE. PLEASE REFER TO YOUR CONTRACT TENDER AND COLOUR SELECTIONS DOCUMENTATION FOR DETAILS.

## BUILDING INFORMATION

GROUND FLOOR PITCHING HEIGHT(S): 2745mm  
FRAMES AND TRUSSES: STEEL  
ROOF PITCH (U.N.O.): 26.0°  
ELECTRICITY SUPPLY: 3-PHASE  
GAS SUPPLY: RETICULATED SUPPLY

ROOF MATERIAL: SHEET METAL  
ROOF COLOUR: MEDIUM  
ROOF INSULATION: R4.1 BATTS SARKING  
WIND DRIVEN ROOF VENTILATORS: 1

WALL MATERIAL: BRICK VENEER  
WALL COLOUR: N/A  
WALL INSULATION: R2.0 BATTS

FLOOR INSULATION: N/A

## SITE & ENGINEERING INFORMATION

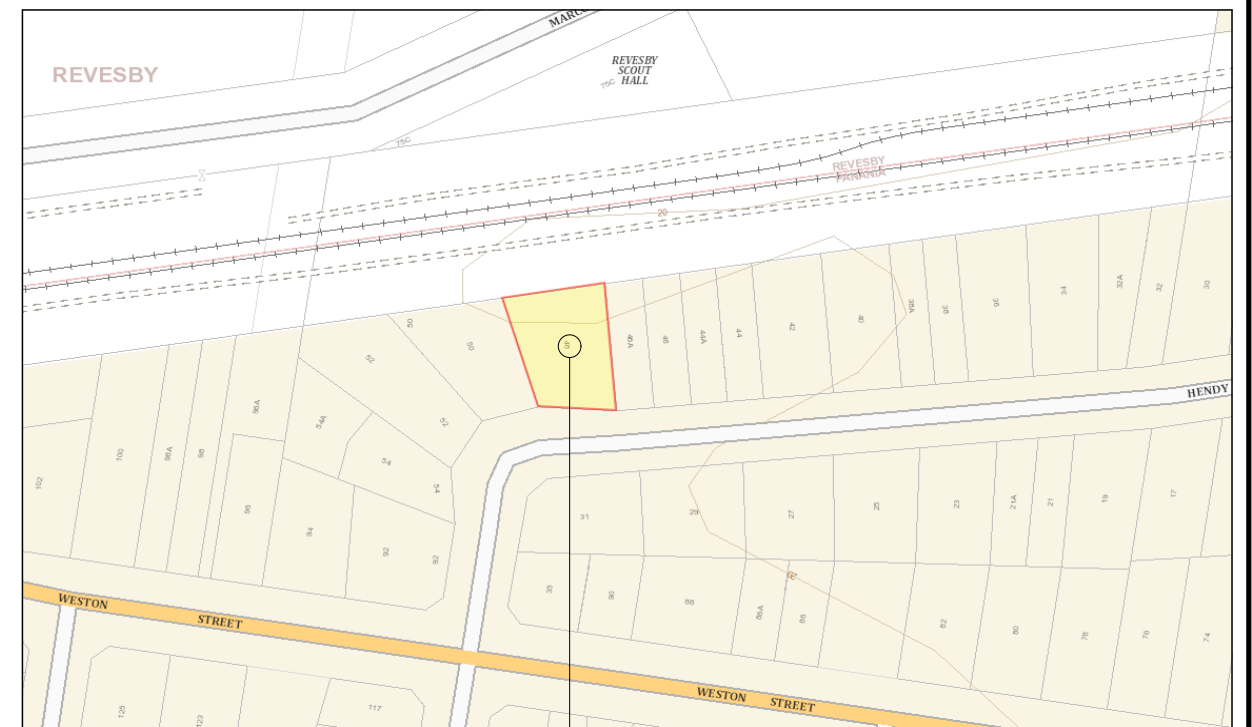
DESIGN WIND CLASSIFICATION: N2

SITE CLASSIFICATION: M  
SLAB CLASSIFICATION: M

SLAB TO BE IN ACCORDANCE WITH AS 2870. REFER TO ENGINEER'S DRAWINGS FOR ALL SLAB DETAILS.

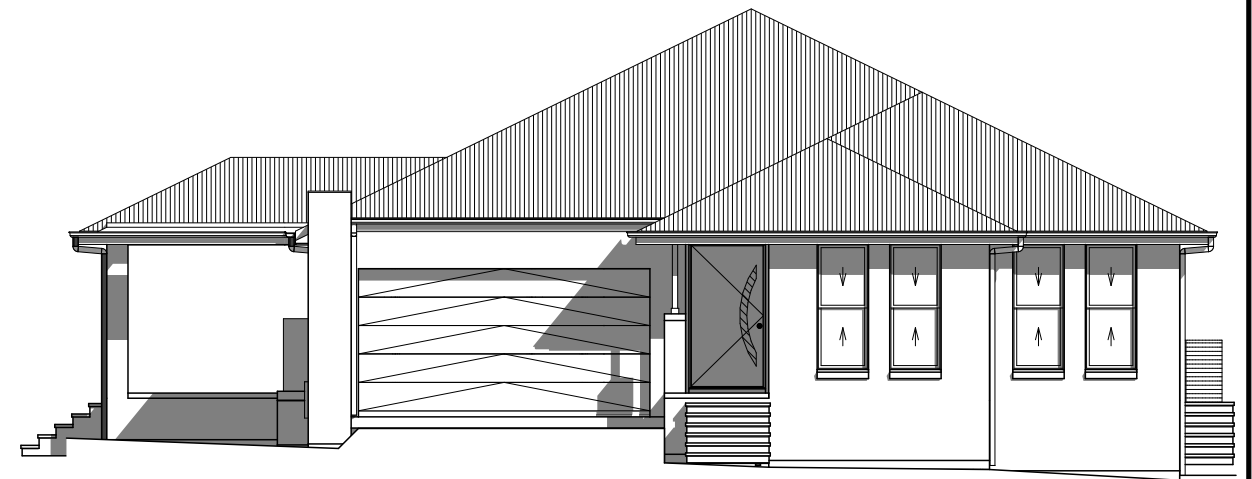
PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C.

ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018



LOT 6  
#48 HENDY AVENUE

LOCATION MAP



## CONSTRUCTION DRAWING

DATE:

06/07/2021

DRAFTING OFFICE:

SYDNEY

**PRELIMINARY**

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REVISION	DRAWN
5 PRELIM CONSTRUCTION PLANS	ENG 2021.07.06
6 AMEND FLOOR LEVELS	PL1 2021.12.10
7 AMENDED AS PER PCV008	CLG 2021.12.22
8 AMENDED AS PER PCV010	MDE 2022.04.04
9 SITE ANALYSIS	MDE 2022.04.04

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ADDRESS:	48 HENDY AVENUE, PANANIA NSW 2213
LOT / SECTION / DP:	6 / - / 36587
COUNCIL:	CANTERBURY BANKSTOWN COUNCIL

HOUSE DESIGN:	SEASIDE RETREAT 16 ONE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	COVER SHEET
SHEET No.:	1 / 18

HOUSE CODE:	H-SESCLAS13400
FACADE CODE:	F-SESCLAS01
SCALES:	

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**606379**








REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
 - SUSTAINABILITY REQUIREMENTS  
 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPIPE DIRECTED TO TANK  
 SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND NO REPRESENTATION IS MADE AS TO THE AS-BUILT LOCATION OF STORMWATER ASSETS (INCLUDING SURFACE INLET PITS) OR THE TYPE OF SYSTEM USED (CHARGED OR GRAVITY FED). ALL STORMWATER DESIGN IS SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS OR CHANGES AT THE DISCRETION OF THE BUILDER. THE STORMWATER SYSTEM IS NOT SUITABLE FOR ANY OTHER USE. ALL SURFACE WATER DRAINAGE MUST BE MANAGED BY OWNER INCLUDING INSTALLATION OF ADDITIONAL DISCHARGE LINES AND INLETS AS REQUIRED. THE BUILDER PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.







NOTE TO PLUMBER: ROOF WATER FROM COLLECTION AREAS  
    
 TO BE DIVERTED TO WATER TANK. BALANCE TO STREET KERB. COLLECTION AREA = 184.00m<sup>2</sup>

ALL STORMWATER OVERFLOW OTHER THAN THAT BEING DIRECTED TO WATER TANK(S) TO BE DIRECTED TO STREET KERB.

**REFER TO STORMWATER DESIGN BY IBRAHIM STORMWATER CONSULTANTS FOR STORMWATER REQUIREMENTS**  
 REFERENCE: M10253-606379 ISSUE 1  
 DATED: 09.08.2021

**PLUMBING LEGEND**

WATER PUMP IN ACC. WITH LOCAL WATER AUTHORITY REQUIREMENTS  
 TANK CAPACITY TO BE MAINTAINED AT MINIMUM 10% CAPACITY  
 ALL RECY. WATER TO BE IN APPROVED COLOUR CODED PIPEWORK (PURPLE)  
 ALL DRAINAGE LINES ARE FOR ROOF WATER/WATER TANK DRAINAGE ONLY

-  RECYCLED COLD WATER LINE
-  TANK COLD WATER LINE
-  WATER LINE TO MAIN SUPPLY
-  CHARGED LINE TO WATER TANK
-  WATER TANK OVERFLOW
-  STORMWATER OVERFLOW
- WM** WASHING MACHINE
- WC** WATER CLOSET
- +** YARD TAP



**CONSTRUCTION DRAWING**  
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 06/07/2021  
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**CANTERBURY BANKSTOWN COUNCIL**

HOUSE DESIGN:  
**SEASIDE RETREAT 16 ONE**  
 FACADE DESIGN:  
**CLASSIC**  
 SHEET TITLE:  
**WATER MANAGEMENT PLAN**

HOUSE CODE:  
**H-SESCLAS13400**  
 FACADE CODE:  
**F-SESCLAS01**  
 SHEET No.: **4 / 18** SCALES:  
**1:100**

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**606379**

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CDP CHARGED DOWNPIPE DIRECTED TO TANK  
 SDP STANDARD DOWNPIPE DIRECTED TO STORMWATER DISCHARGE

ALL MECHANICAL VENTILATION TO BE DISCHARGED TO OUTDOOR AIR AS PER NCC REQUIREMENTS

FIRE RESISTANT PLASTERBOARD TO BE INSTALLED BEHIND COOKTOP

ALL EXTERIOR STEPS AND LANDINGS BY OWNER UNLESS NOTED OTHERWISE

ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2155 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

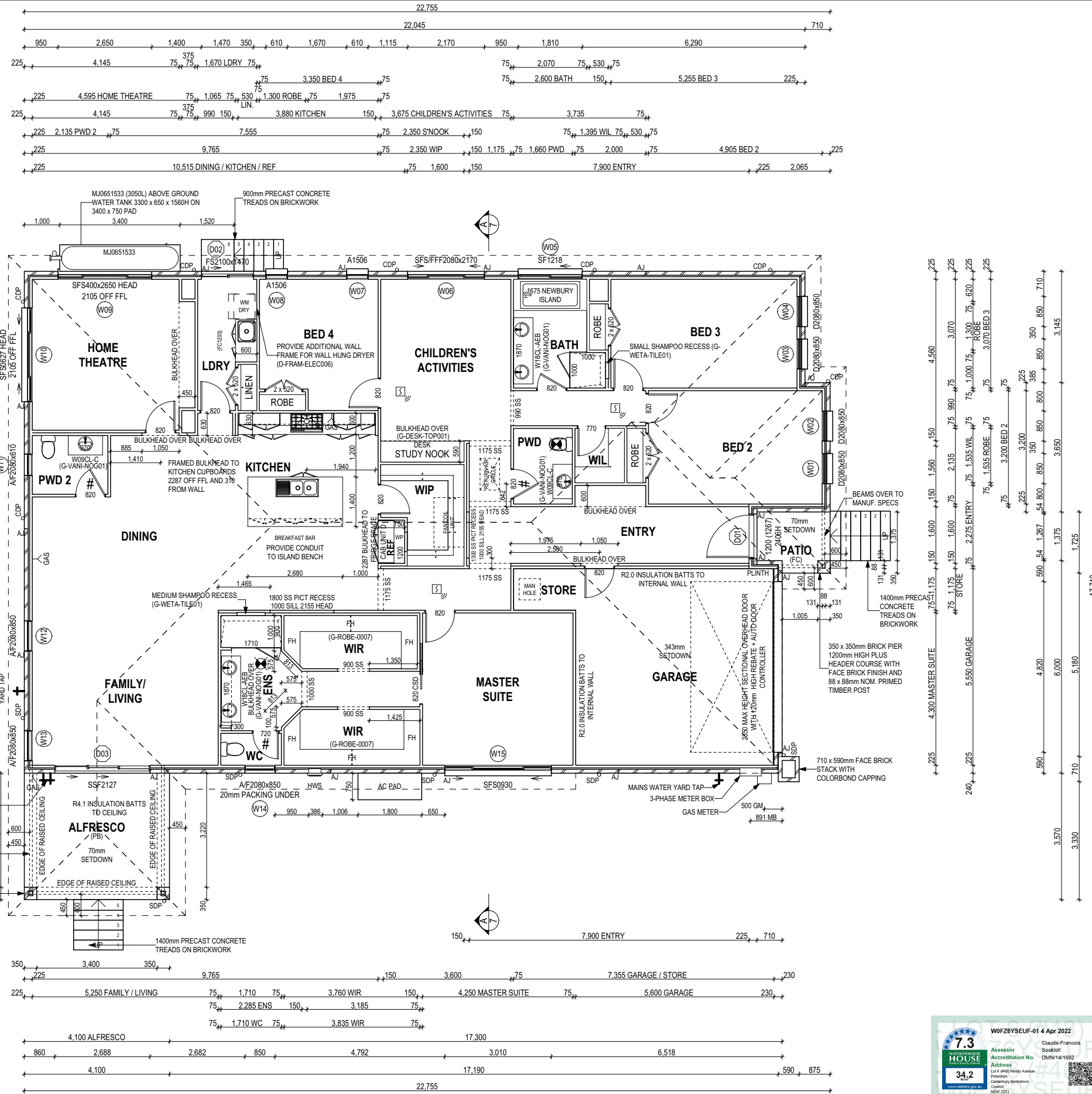
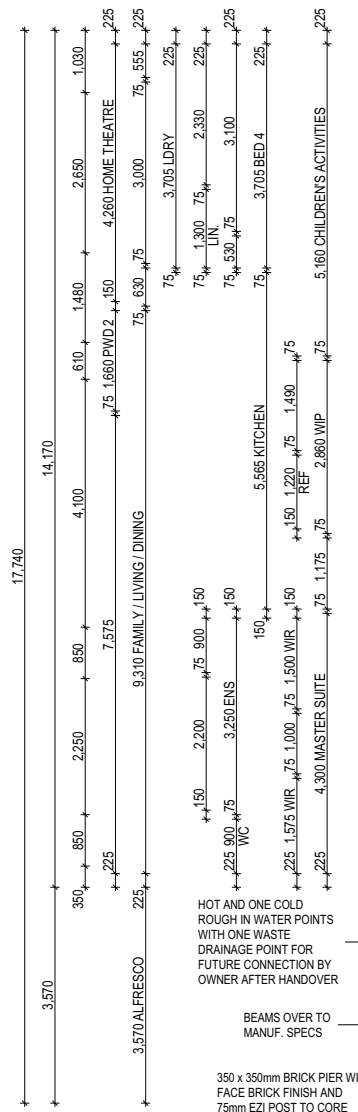
FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



**FLOOR PLAN LEGEND**

- HS / WS HOB SPOUT / WALL SPOUT
- [Symbol] FACE BRICK / COMMON BRICK
- [Symbol] HEBEL
- [Symbol] SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- [Symbol] EXHAUST FAN
- L.B.W LOAD BEARING WALL
- [Symbol] THIS DOOR OPENS FIRST
- [Symbol] SMOKE ALARM
- # LIFT OFF HINGE
- + WATER POINT
- WP FRIDGE WATER POINT
- GAS GAS BAYONET

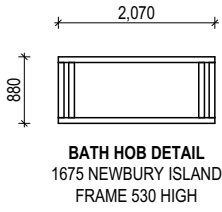


PROVIDE AND INSTALL 3 PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPIPE THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE NCC.

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETE TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



**ALL DIMENSIONS ARE FRAME DIMENSIONS**

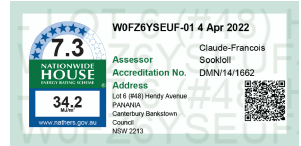
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COUNCIL:	CANTERBURY BANKSTOWN COUNCIL

HOUSE DESIGN:	SEASIDE RETREAT 16 ONE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	GROUND FLOOR PLAN
SHEET No.:	5 / 18

HOUSE CODE:	H-SESCLAS13400
FACADE CODE:	F-SESCLAS01
SCALES:	1:125

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# WINDOW SCHEDULE

0.1 ASSUME LOOKING FROM OUTSIDE

ID	CODE*	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m <sup>2</sup> )	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m <sup>2</sup> )	GLAZING TYPE	ADDITIONAL INFORMATION <sup>1</sup>
W01	D2080x850	---	2,080	850	5,860	1.77	ALUMINIUM	N/A	ANGLED	S	1.50	CLEAR	QLON SEALS
W02	D2080x850	---	2,080	850	5,860	1.77	ALUMINIUM	N/A	ANGLED	S	1.50	CLEAR	QLON SEALS
W03	D2080x850	---	2,080	850	5,860	1.77	ALUMINIUM	N/A	ANGLED	S	1.50	CLEAR	QLON SEALS
W04	D2080x850	---	2,080	850	5,860	1.77	ALUMINIUM	N/A	ANGLED	S	1.50	CLEAR	QLON SEALS
W05	SF1218	---	1,200	1,810	6,020	2.17	ALUMINIUM	N/A	ANGLED	E	1.91	OBSCURE, TOUGHENED	QLON SEALS
W06	SFS/FFF2080x2170	---	2,080	2,170	8,500	4.51	ALUMINIUM	N/A	SNAP HEADER	E	3.87	CLEAR	BP 620, MP 543-1085/0 QLON SEALS
W07	A1506	---	1,460	610	4,140	0.89	ALUMINIUM	N/A	ANGLED	E	0.64	CLEAR	QLON SEALS
W08	A1506	---	1,460	610	4,140	0.89	ALUMINIUM	N/A	ANGLED	E	0.64	CLEAR	QLON SEALS
W09	SFS400x2650	---	400	2,650	6,100	1.06	ALUMINIUM	N/A	ANGLED	E	0.82	CLEAR	QLON SEALS
W10	SFS0627	---	600	2,650	6,500	1.59	ALUMINIUM	N/A	ANGLED	N	1.32	CLEAR	QLON SEALS
W11	A/F2080x610	---	2,080	610	5,380	1.27	ALUMINIUM	N/A	SNAP HEADER	N	0.94	OBSCURE, TOUGHENED	BP 620 QLON SEALS
W12	A/F2080x850	---	2,080	850	5,860	1.77	ALUMINIUM	N/A	SNAP HEADER	N	1.39	CLEAR	BP 620 QLON SEALS
W13	A/F2080x850	---	2,080	850	5,860	1.77	ALUMINIUM	N/A	SNAP HEADER	N	1.39	CLEAR	BP 620 QLON SEALS
W14	A/F2080x850	---	2,080	850	5,860	1.77	ALUMINIUM	N/A	SNAP HEADER	W	1.39	OBSCURE, TOUGHENED	BP 620 QLON SEALS
W15	SFS0930	---	860	3,010	7,740	2.59	ALUMINIUM	N/A	ANGLED	W	2.25	CLEAR	QLON SEALS
						27.36							22.56

# EXTERIOR DOOR SCHEDULE

0.1 ASSUME LOOKING FROM OUTSIDE

ID	CODE*	ROOM	HEIGHT	WIDTH	AREA (m <sup>2</sup> )	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING TYPE	DOOR TYPE	ADDITIONAL INFORMATION <sup>1</sup>
D01	1200	---	2,406	1,267	3.05	TIMBER	N/A	SNAP HEADER	S	DOOR(S): OBSCURE - SIDELIGHT(S): N/A	SWINGING	RAVEN RP99SI DROP SEAL TO BOTTOM OF THE ENTRY DOOR & RP93SI SEALS TO SIDES & TOP OF DOOR
D02	FS2100x1470	---	2,100	1,470	3.09	ALUMINIUM	N/A	SNAP HEADER	E	CLEAR, TOUGHENED	SLIDING	QLON SEALS
D03	SSF2127	---	2,100	2,688	5.64	ALUMINIUM	N/A	SNAP HEADER	W	CLEAR, TOUGHENED	STACKER	QLON SEALS
					11.78 m <sup>2</sup>							

# INTERIOR DOOR SCHEDULE

QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING	ADDITIONAL INFORMATION
1	1000 SS	SQUARE SET OPENING	2,155	1,000	N/A	
4	1175 SS	SQUARE SET OPENING	2,155	1,175	N/A	
3	2 x 520	SWINGING	2,040	1,040	N/A	
1	2 x 620	SWINGING	2,040	1,240	N/A	
1	720	SWINGING	2,040	720	N/A	LIFT-OFF HINGES
1	770	SWINGING	2,040	770	N/A	
9	820	SWINGING	2,040	820	N/A	
2	820	SWINGING	2,040	820	N/A	LIFT-OFF HINGES
1	820 CSD	CAVITY SLIDING	2,040	820	N/A	
2	900 SS	SQUARE SET OPENING	2,155	900	N/A	
1	990 SS	SQUARE SET OPENING	2,155	990	N/A	

# PICTURE/TV RECESS & SQUARE SET WINDOW SCHEDULE

QTY	TYPE	HEIGHT	WIDTH	AREA (m <sup>2</sup> )
1	PICT RECESS	1,155	1.30	1.50
1	PICT RECESS	1,155	1.80	2.08

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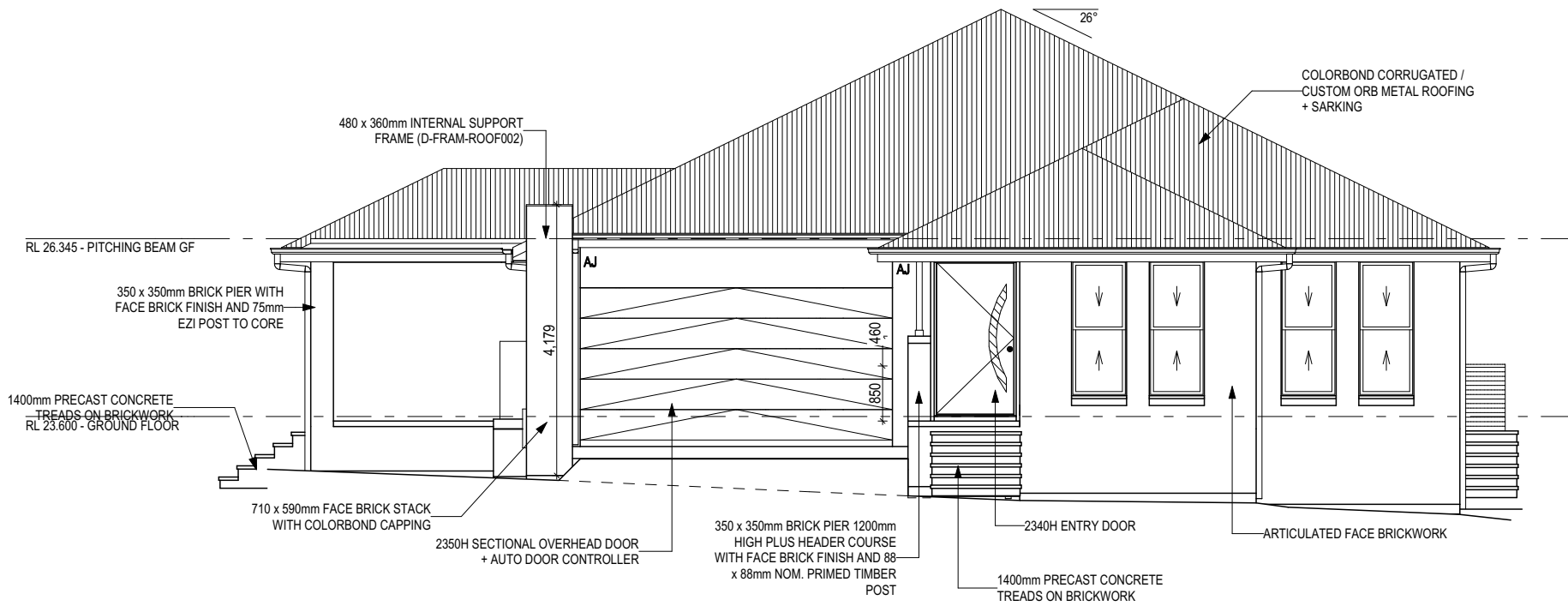
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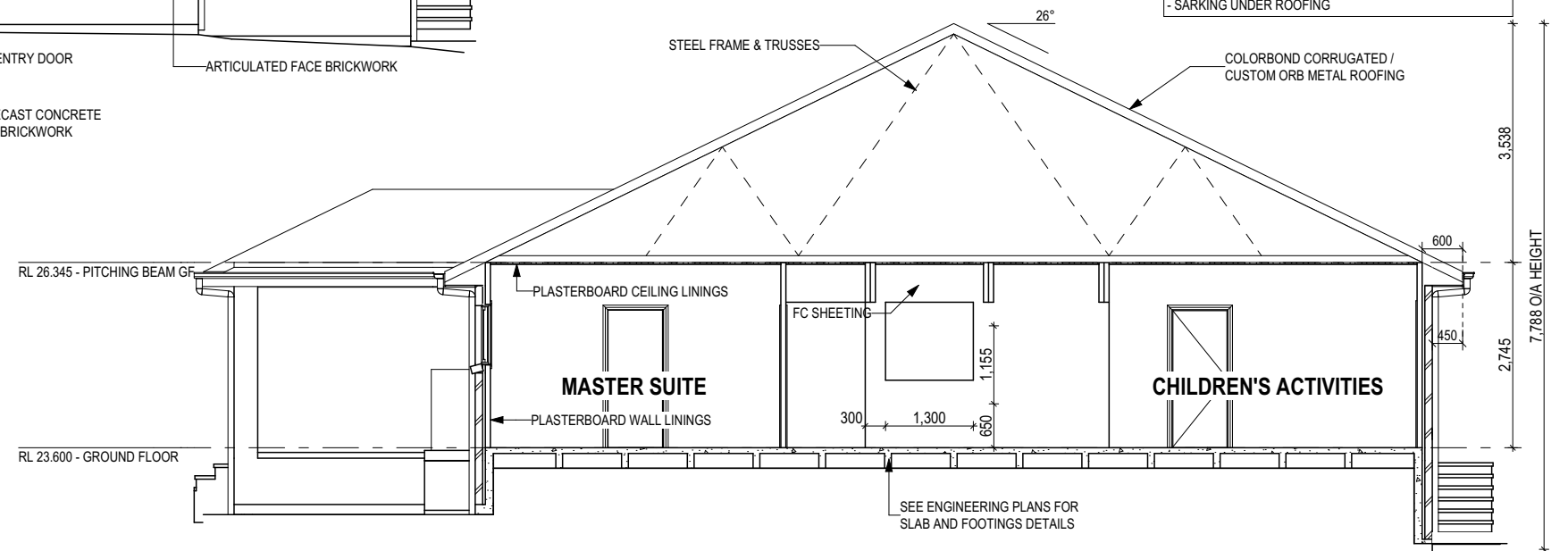
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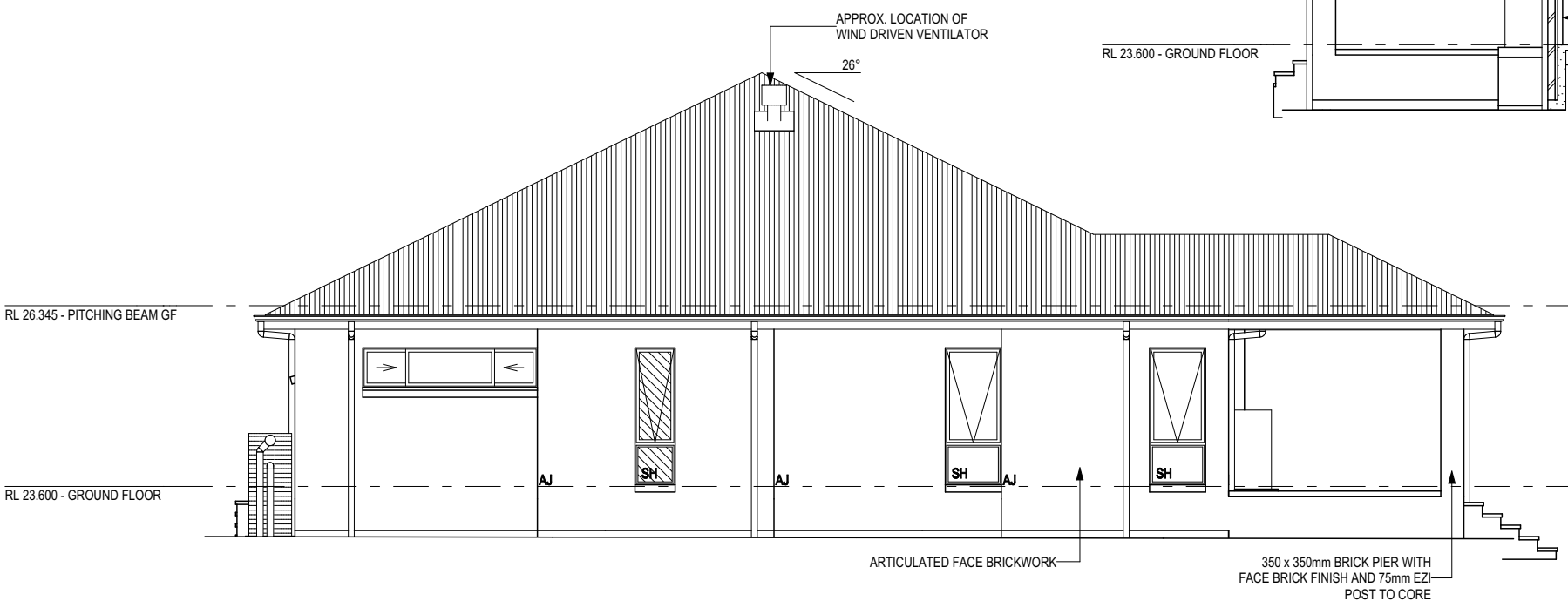
SH = SNAP HEADER SILL



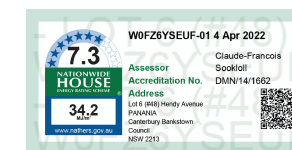
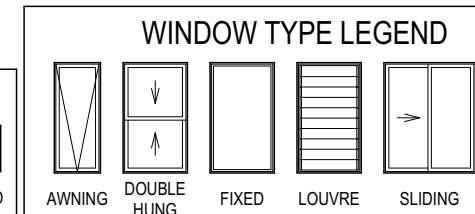
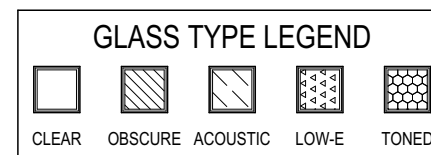
**FRONT ELEVATION**  
Scale: 1:100



**SECTION A-A**  
Scale: 1:100



**REAR ELEVATION**  
Scale: 1:100



**CONSTRUCTION DRAWING**

DATE:  
06/07/2021

DRAFTING OFFICE:  
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REVISION	DRAWN
5 PRELIM CONSTRUCTION PLANS	ENG 2021.07.06
6 AMEND FLOOR LEVELS	PL1 2021.12.10
7 AMENDED AS PER PCV008	CLG 2021.12.22
8 AMENDED AS PER PCV010	MDE 2022.04.04
9 SITE ANALYSIS	MDE 2022.04.04

CLIENT:  
**MR. JAIME JACOB & MRS. ANN RINU JACOB**

ADDRESS:  
**48 HENDY AVENUE, PANANIA NSW 2213**

LOT / SECTION / DP: **6 / - / 36587** COUNCIL: **CANTERBURY BANKSTOWN COUNCIL**

HOUSE DESIGN:  
**SEASIDE RETREAT 16 ONE**

FACADE DESIGN:  
**CLASSIC**

SHEET TITLE:  
**ELEVATIONS / SECTION**

SHEET No.: **7 / 18**

HOUSE CODE:  
**H-SESCLAS13400**

FACADE CODE:  
**F-SESCLAS01**

SCALES:  
**1:100**

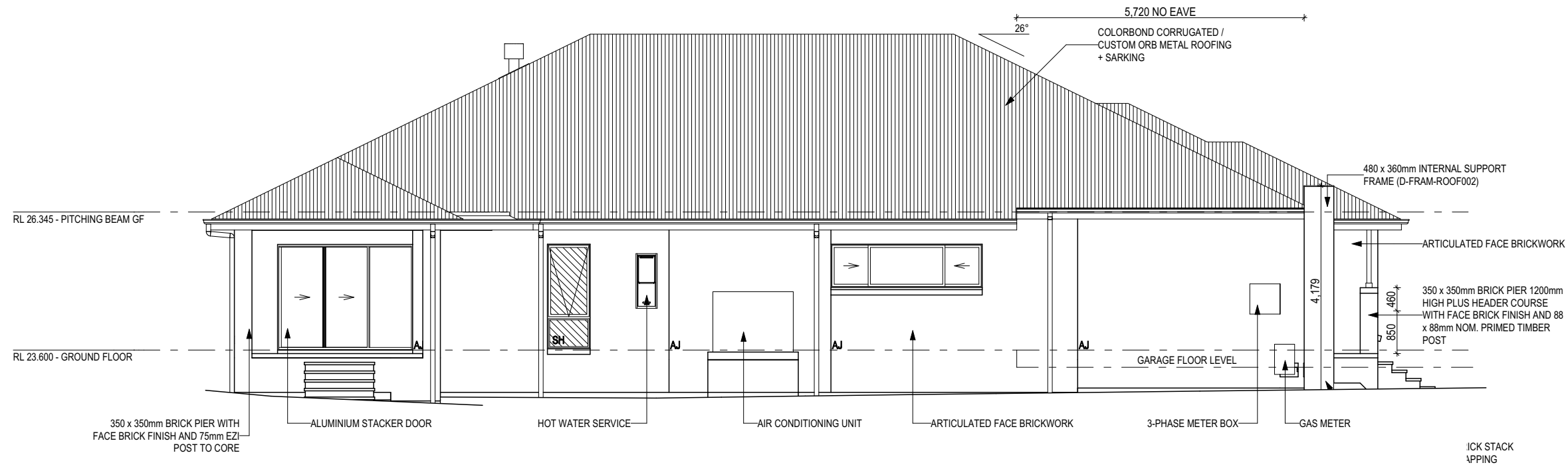
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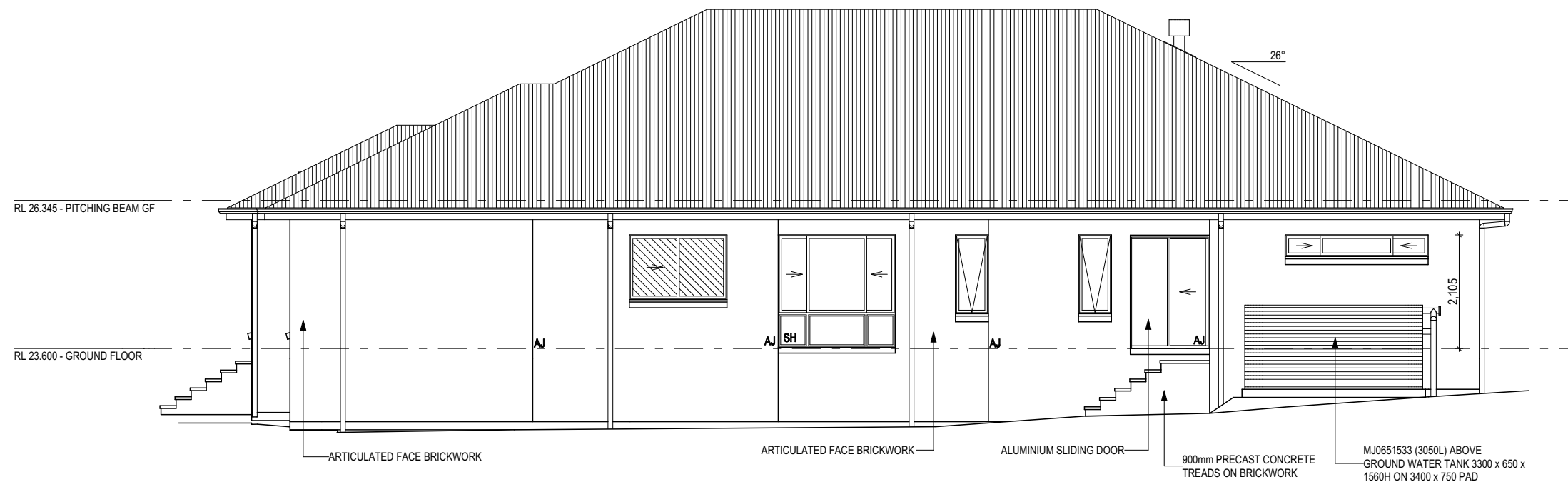
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Template Version: 21.021

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 - SUSTAINABILITY REQUIREMENTS  
 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

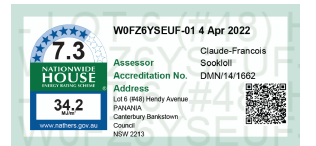
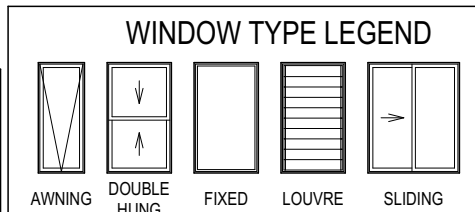
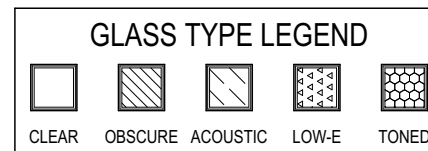
SH = SNAP HEADER SILL



LEFT ELEVATION  
 Scale: 1:100



RIGHT ELEVATION  
 Scale: 1:100



**CONSTRUCTION DRAWING**

DATE:  
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HOUSE DESIGN:  
**SEASIDE RETREAT 16 ONE**

FACADE DESIGN:  
**CLASSIC**

SHEET TITLE:  
**ELEVATIONS**

SHEET No.: **8 / 18**

HOUSE CODE:  
**H-SESCLAS13400**

FACADE CODE:  
**F-SESCLAS01**

SCALES:  
**1:100**

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 File Location: G:\Sydney\Drafting\Job Files 606201 - 606400\606379 - Jacob\Plan Model\606379 Jacob - AC21.rvt  
 Template Version: 21.021

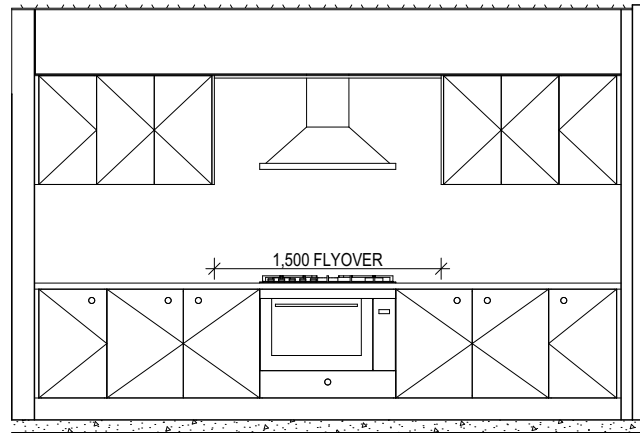


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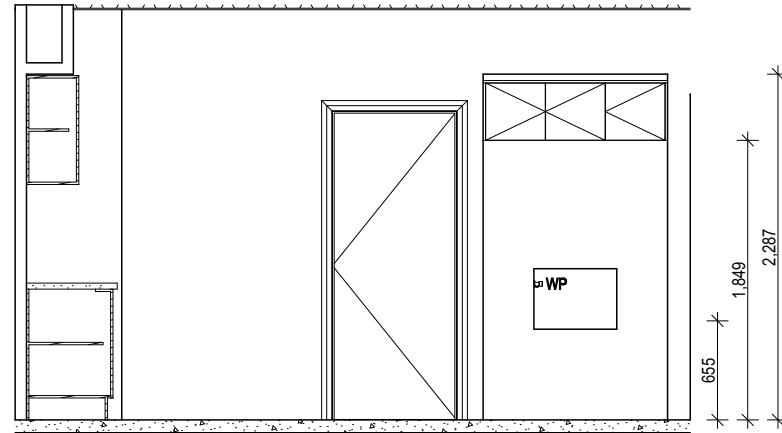
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY. JOINER MAY ADJUST CABINETRY AS REQUIRED.

GAS CONNECTION FOR COOKTOP TO BE LOCATED 700mm TO RIGHT HAND SIDE OF CENTRE OF COOKTOP

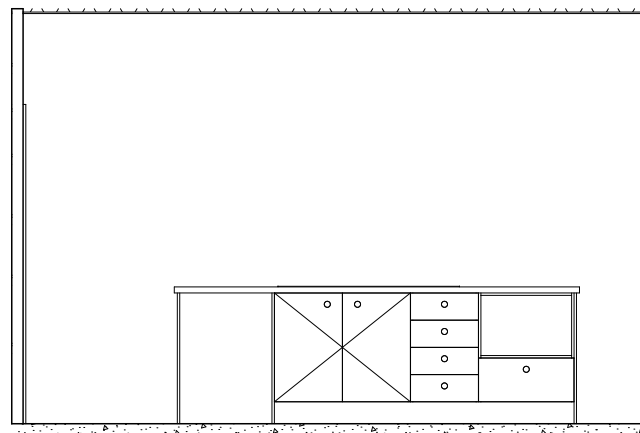
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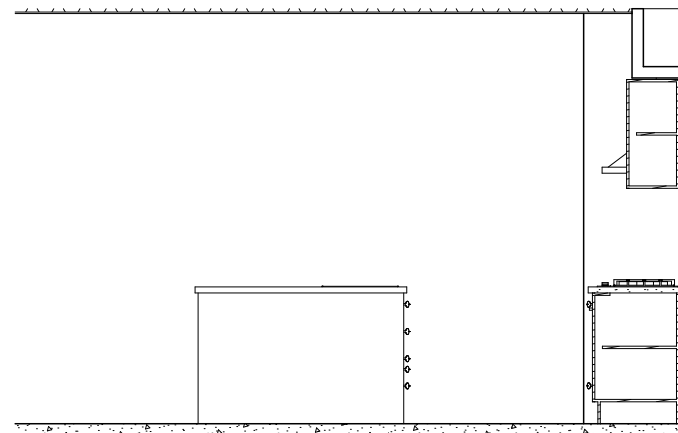
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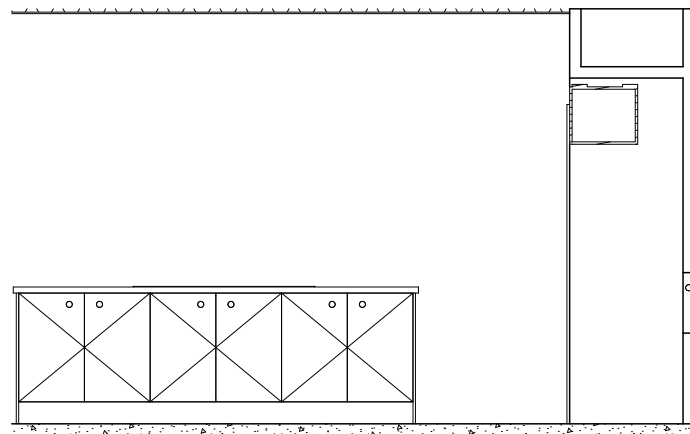
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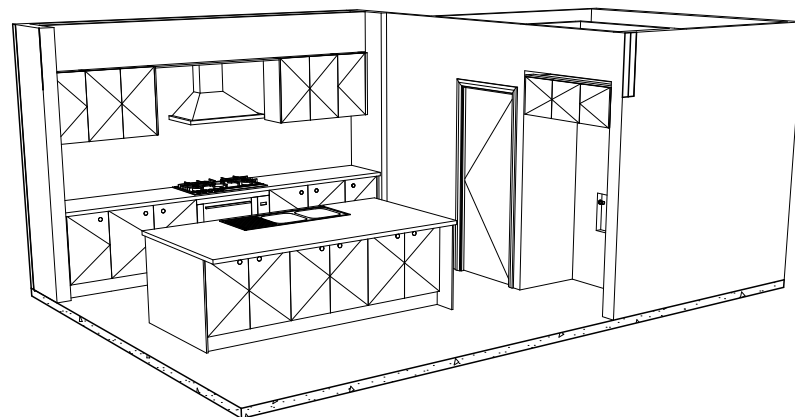
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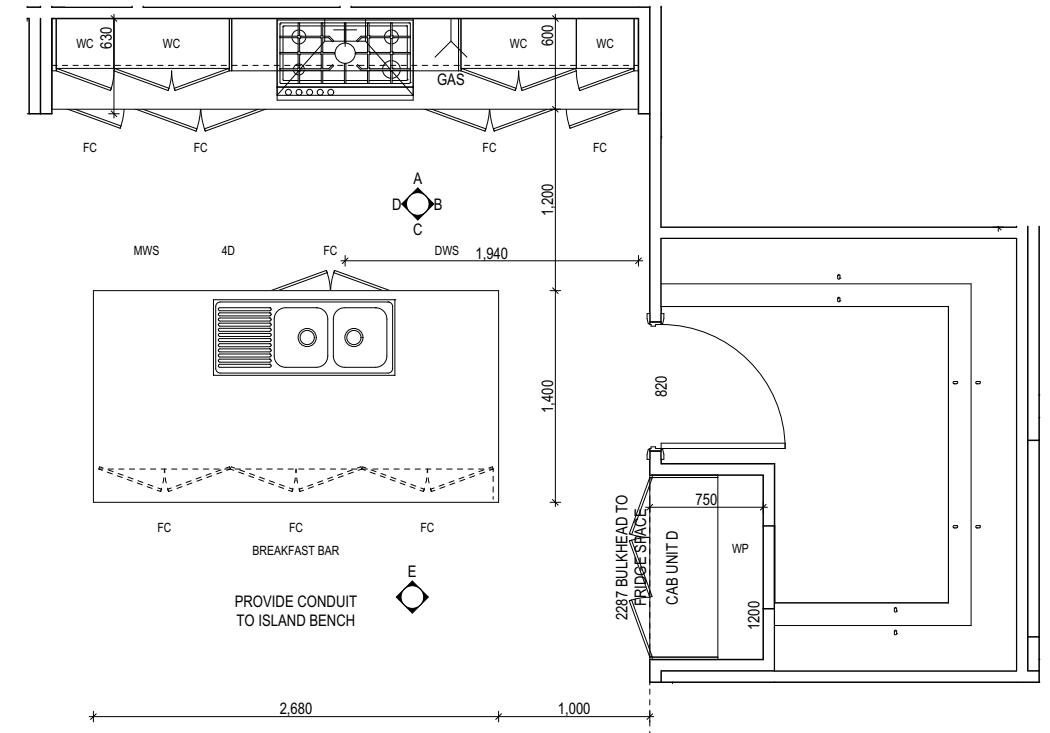
ELEVATION D  
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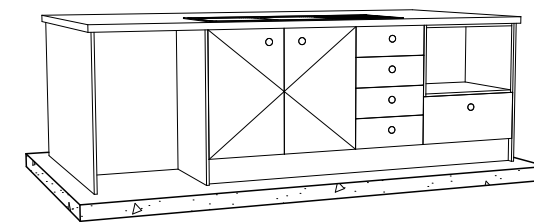
ELEVATION E  
Scale: 1:50



FRAMED BULKHEAD TO KITCHEN CUPBOARDS  
2287 OFF FFL AND 310 FROM WALL



KITCHEN PLAN  
Scale: 1:50



**CONSTRUCTION DRAWING**  
 DATE:  
 06/07/2021  
 DRAFTING OFFICE:  
 SYDNEY  
**PRELIMINARY**

File Location: G:\Sydney\Drafting\Job Files 606201 - 606400\606379 - Jacob\Plan Model\606379 Jacob - AC21.rvt  
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9 SITE ANALYSIS	MDE 2022.04.04

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 LOT / SECTION / DP: **6 / - / 36587** COUNCIL:  
**CANTERBURY BANKSTOWN COUNCIL**

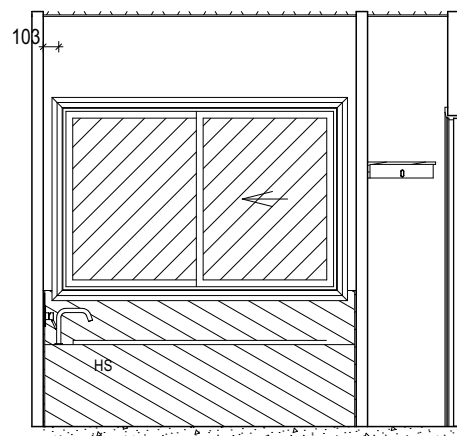
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**SEASIDE RETREAT 16 ONE**  
 FACADE DESIGN:  
**CLASSIC**  
 SHEET TITLE:  
**KITCHEN DETAILS**

HOUSE CODE:  
**H-SESCLAS13400**  
 FACADE CODE:  
**F-SESCLAS01**  
 SHEET No.: **9 / 18** SCALES:  
**1:50**

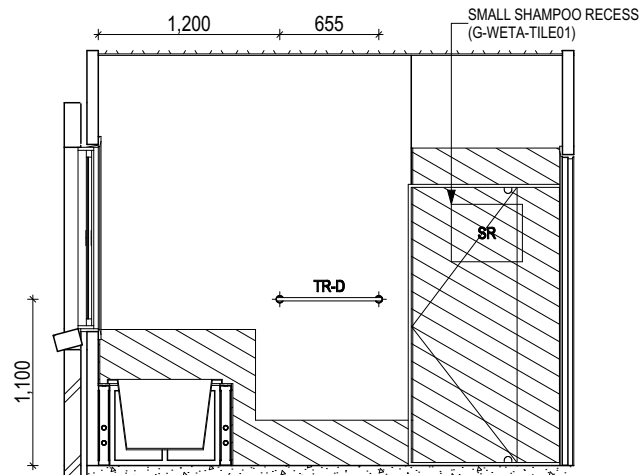
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 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

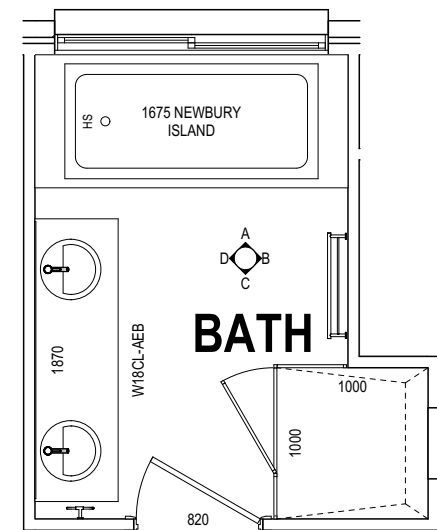
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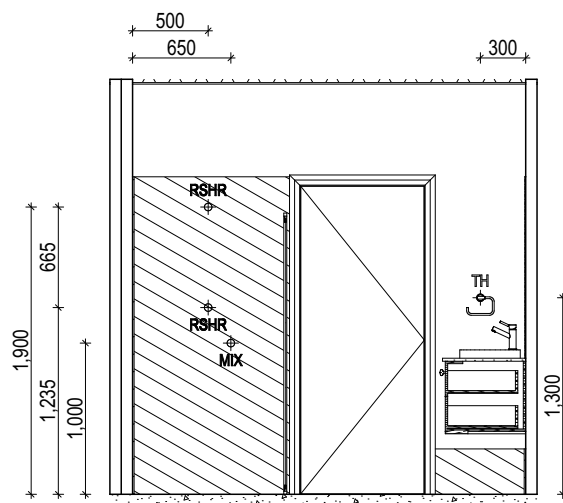
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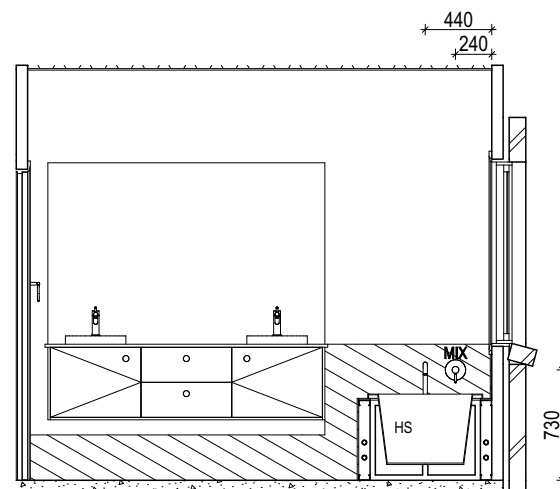
BATHROOM PLAN  
Scale: 1:50

LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER



ELEVATION C  
Scale: 1:50



ELEVATION D  
Scale: 1:50

CONSTRUCTION DRAWING

DATE:

06/07/2021

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6 AMEND FLOOR LEVELS	PL1 2021.12.10
7 AMENDED AS PER PCV008	CLG 2021.12.22
8 AMENDED AS PER PCV010	MDE 2022.04.04
9 SITE ANALYSIS	MDE 2022.04.04

CLIENT:	MR. JAIME JACOB & MRS. ANN RINU JACOB
ADDRESS:	48 HENDY AVENUE, PANANIA NSW 2213
LOT / SECTION / DP:	6 / - / 36587
COUNCIL:	CANTERBURY BANKSTOWN COUNCIL

HOUSE DESIGN:	SEASIDE RETREAT 16 ONE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	BATHROOM DETAILS
SHEET No.:	10 / 18

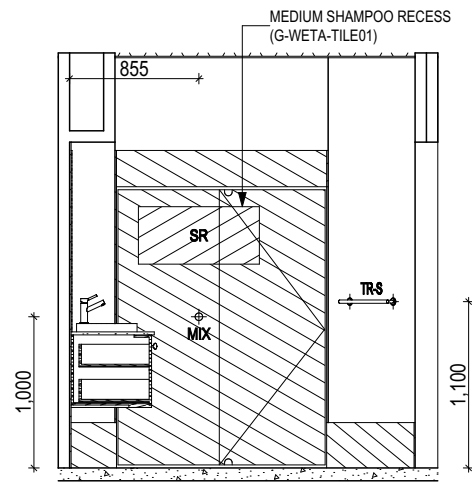
HOUSE CODE:	H-SESCLAS13400
FACADE CODE:	F-SESCLAS01
SCALES:	1:50

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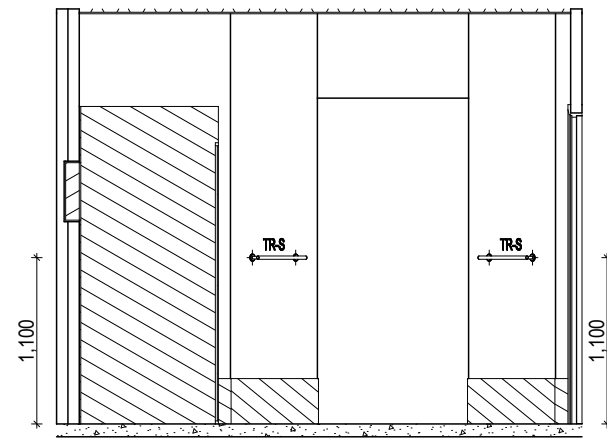
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 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

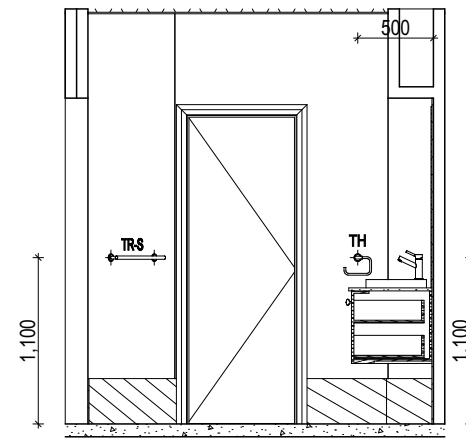
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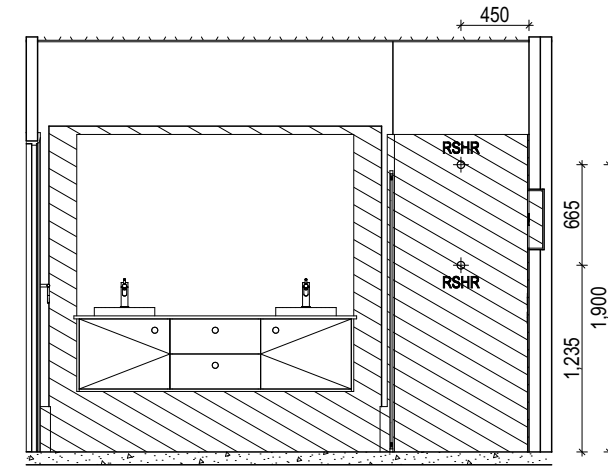
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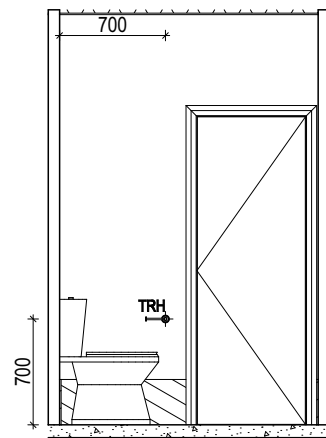
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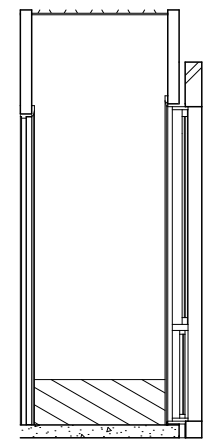
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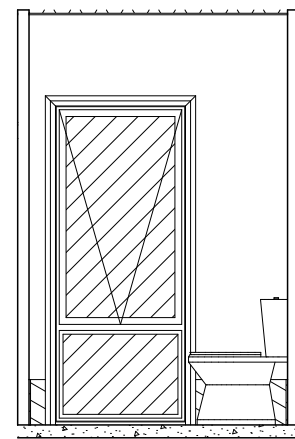
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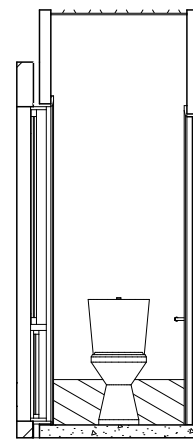
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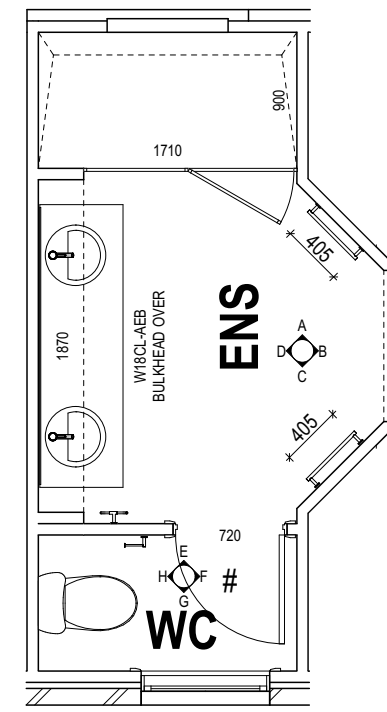
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ELEVATION G  
Scale: 1:50



ELEVATION H  
Scale: 1:50



ENSUITE / WC PLAN  
Scale: 1:50

LEGEND

- RSHR RAIL SHOWER
- ROSE SHOWER ROSE
- ELBW SHOWER ELBOW CONNECTION
- MIX MIXER TAP
- HT HOT TAP
- CT COLD TAP
- HS HOB SPOUT
- WS WALL SPOUT
- SC STOP COCK
- TRH TOILET ROLL HOLDER
- TR-S TOWEL RAIL - SINGLE
- TR-D TOWEL RAIL - DOUBLE
- TL TOWEL LADDER
- TH TOWEL HOLDER
- TR TOWEL RACK
- TMB TUMBLER HOLDER
- RNG TOWEL RING
- RH ROBE HOOK
- SHLF SHELF
- SR SHAMPOO RECESS
- SOAP SOAP HOLDER

CONSTRUCTION DRAWING

DATE:

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LOT / SECTION / DP:	6 / - / 36587
COUNCIL:	CANTERBURY BANKSTOWN COUNCIL

HOUSE DESIGN:	SEASIDE RETREAT 16 ONE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	ENSUITE / WC DETAILS
SHEET No.:	11 / 18

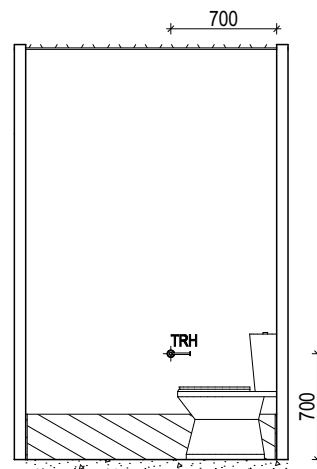
HOUSE CODE:	H-SESCLAS13400
FACADE CODE:	F-SESCLAS01
SCALES:	1:50

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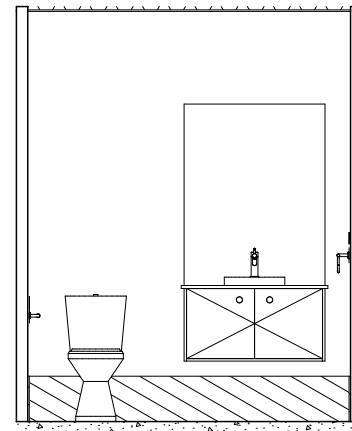
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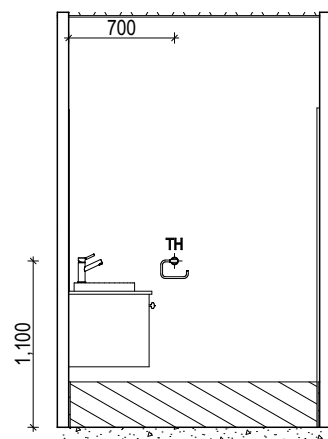
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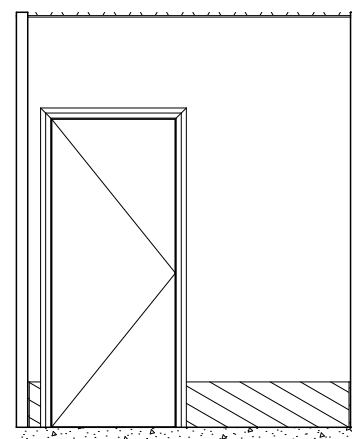
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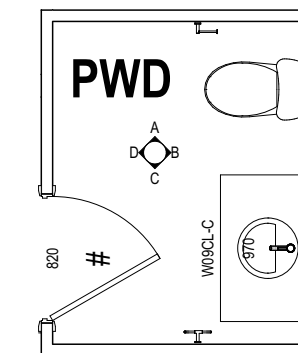
ELEVATION B  
Scale: 1:50



ELEVATION C  
Scale: 1:50



ELEVATION D  
Scale: 1:50



POWDER ROOM PLAN  
Scale: 1:50

LEGEND	
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

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DATE:

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FACADE DESIGN:	CLASSIC
SHEET TITLE:	POWDER ROOM DETAILS
SHEET No.:	12 / 18

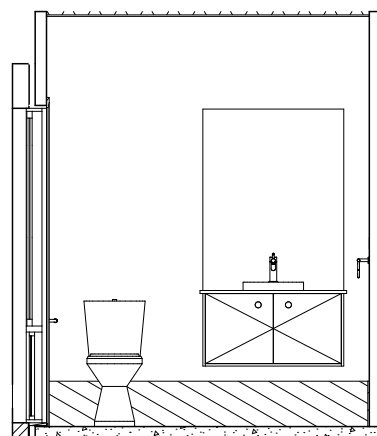
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FACADE CODE:	F-SESCLAS01
SCALES:	1:50

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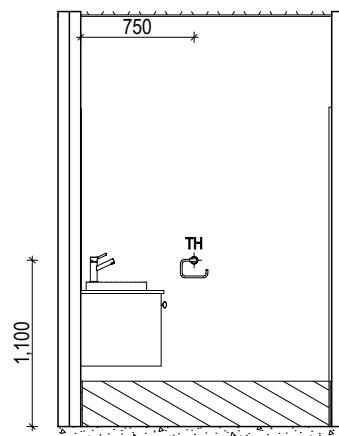
**606379**

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
 - SUSTAINABILITY REQUIREMENTS  
 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

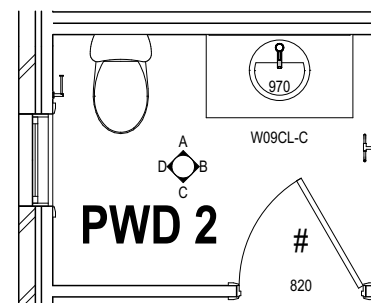
DETAILS DEPICTED ON THIS SHEET ARE A REPRESENTATION ONLY



ELEVATION A  
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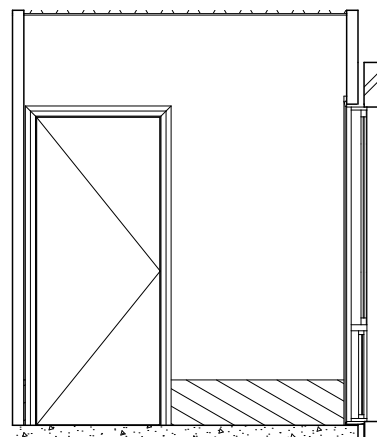


ELEVATION B  
Scale: 1:50

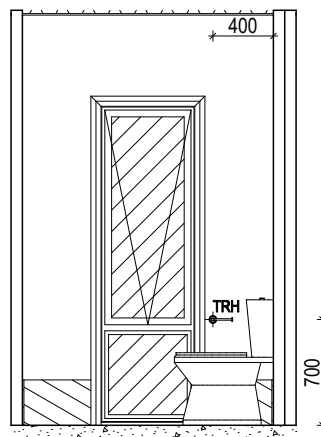


POWDER ROOM 2 PLAN  
Scale: 1:50

LEGEND	
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER



ELEVATION C  
Scale: 1:50



ELEVATION D  
Scale: 1:50

**CONSTRUCTION DRAWING**

DATE:

06/07/2021

DRAFTING OFFICE:

SYDNEY

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5 PRELIM CONSTRUCTION PLANS	ENG 2021.07.06
6 AMEND FLOOR LEVELS	PL1 2021.12.10
7 AMENDED AS PER PCV008	CLG 2021.12.22
8 AMENDED AS PER PCV010	MDE 2022.04.04
9 SITE ANALYSIS	MDE 2022.04.04

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ADDRESS:	48 HENDY AVENUE, PANANIA NSW 2213
LOT / SECTION / DP:	COUNCIL:
6 / - / 36587	CANTERBURY BANKSTOWN COUNCIL

HOUSE DESIGN:	SEASIDE RETREAT 16 ONE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	SHEET No.:
POWDER ROOM 2 DETAILS	13 / 18

HOUSE CODE:	H-SESCLAS13400
FACADE CODE:	F-SESCLAS01
SCALES:	1:50

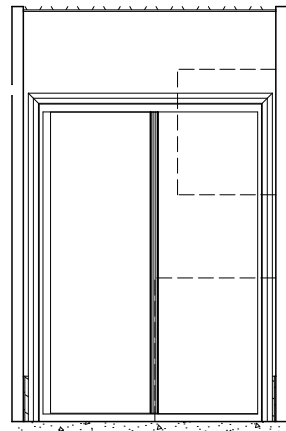
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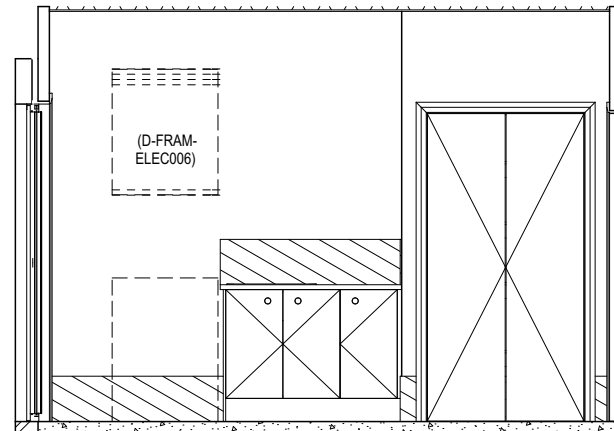
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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
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 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

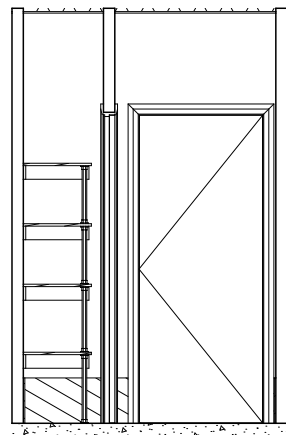
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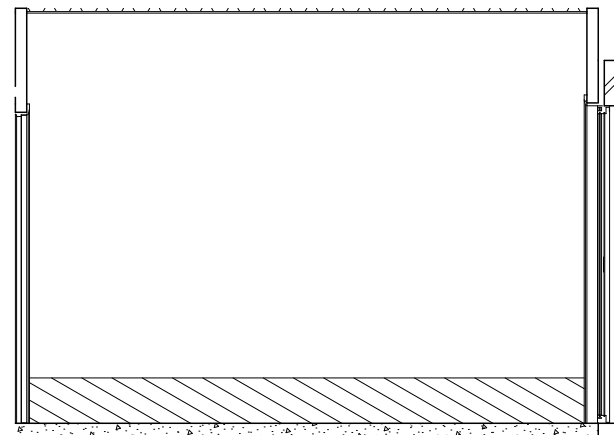
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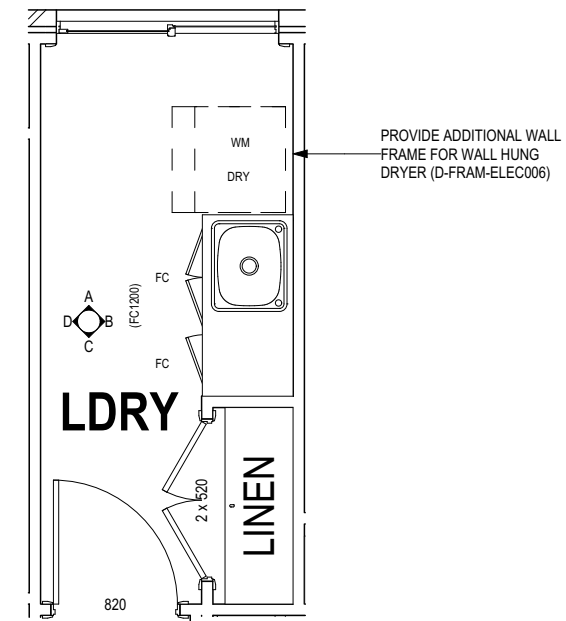
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Scale: 1:50



ELEVATION C  
Scale: 1:50



ELEVATION D  
Scale: 1:50



LAUNDRY PLAN  
Scale: 1:50

LEGEND	
RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT
WS	WALL SPOUT
SC	STOP COCK
TRH	TOILET ROLL HOLDER
TR-S	TOWEL RAIL - SINGLE
TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

**CONSTRUCTION DRAWING**

DATE:

06/07/2021

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SYDNEY

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REVISION	DRAWN
5 PRELIM CONSTRUCTION PLANS	ENG 2021.07.06
6 AMEND FLOOR LEVELS	PL1 2021.12.10
7 AMENDED AS PER PCV008	CLG 2021.12.22
8 AMENDED AS PER PCV010	MDE 2022.04.04
9 SITE ANALYSIS	MDE 2022.04.04

CLIENT:	MR. JAIME JACOB & MRS. ANN RINU JACOB
ADDRESS:	48 HENDY AVENUE, PANANIA NSW 2213
LOT / SECTION / DP:	6 / - / 36587
COUNCIL:	CANTERBURY BANKSTOWN COUNCIL

HOUSE DESIGN:	SEASIDE RETREAT 16 ONE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	LAUNDRY DETAILS
SHEET No.:	14 / 18

HOUSE CODE:	H-SESCLAS13400
FACADE CODE:	F-SESCLAS01
SCALES:	1:50

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**606379**

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:  
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 - SITE CLASSIFICATION  
 - GENERAL BUILDING INFORMATION

FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.  
 TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

**COVERINGS LEGEND**

-  NO COVERING
-  COVER GRADE CONCRETE
-  CARPET
-  TIMBER/LAMINATE (BY OWNER)
-  TILE (STANDARD WET AREAS)
-  TILE (UPGRADED AREAS)
-  VINYL



**FLOOR COVERINGS**  
 Scale: 1:100

**SKIRTING BOARD POLICY FOR FLOATING DECORATIVE FLOORS (MAXIMUM 16mm THICKNESS)**

THE FOLLOWING WILL BE DONE BY THE BUILDER FOR NO ADDITIONAL CHARGE:

- SELECTED SKIRTING IS INSTALLED IN ALL ROOMS EXCLUDING THE ROOMS NOMINATED FOR FUTURE TIMBER FLOORING.
- **ENTIRE HOME**
- THE SKIRTING FOR THESE AREAS WILL BE LEFT ON SITE UNCUT AND UNPAINTED.
- THE CLIENTS SHALL ARRANGE FOR THE INSTALLATION OF THE TIMBER FLOOR AND SKIRTING BOARDS AFTER HANDOVER AND FINAL PAYMENT.
- THE OWNERS SHALL PAINT THE SKIRTING ON COMPLETION.
- THE BUILDER DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE THEFT AND/OR DAMAGE OF THE SKIRTING MATERIAL LEFT ON SITE.
- THE OWNER ACKNOWLEDGES THAT COUNCIL MAY NOT ISSUE A FINAL INSPECTION CERTIFICATE WITHOUT THE SKIRTING INSTALLED. THE OWNER ACKNOWLEDGES THE HOME WILL REACH PRACTICAL COMPLETION IN ACCORDANCE WITH THE CONTRACT WITHOUT THE INSTALLATION OF THE SKIRTING AND SHALL ARRANGE FOR THE PAYMENT OF THE FINAL ACCOUNT. THE OWNER AGREES THAT IF FUNDS ARE NOT RELEASED FROM A LENDER THAT THE OWNER SHALL MAKE ARRANGEMENTS FOR PAYMENT OF THE ACCOUNT OR SHALL BE CHARGED OVERDUE INTEREST IN ACCORDANCE WITH THE CONTRACT. THE KEYS AND POSSESSION OF THE SITE WILL NOT PASS TO THE OWNER UNTIL AFTER PAYMENT OF THE ACCOUNT.
- THE OWNER SHOULD MAKE THEIR OWN ENQUIRIES OF THE LENDER TO ENSURE FUNDS WILL BE RELEASED UPON PRACTICAL COMPLETION.
- THE FINISHED FLOOR TO CEILING HEIGHT WILL BE AFFECTED BY THE INSTALLATION OF TIMBER FLOORING. THE OWNER SHALL ENSURE THAT THE MINIMUM FLOOR TO CEILING HEIGHT OF 2400mm AS PER NCC REQUIREMENTS IS MAINTAINED.
- THE OWNER ACKNOWLEDGES THAT THE BUILDER HAS ADVISED THEM THAT THE CONCRETE SLAB WILL REQUIRE TREATMENT PRIOR TO THE INSTALLATION OF TIMBER FLOORING WITH AN ADHESIVE TO THE CONCRETE SLAB. THIS IS IN ACCORDANCE WITH NOTIFICATION RECEIVED FROM MASTER BUILDERS ASSOCIATION DATED 6TH MARCH 2008.

**CONSTRUCTION DRAWING**

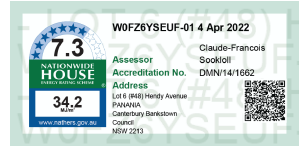
DATE:  
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5 PRELIM CONSTRUCTION PLANS	ENG 2021.07.06
6 AMEND FLOOR LEVELS	PL1 2021.12.10
7 AMENDED AS PER PCV008	CLG 2021.12.22
8 AMENDED AS PER PCV010	MDE 2022.04.04
9 SITE ANALYSIS	MDE 2022.04.04

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LOT / SECTION / DP:	6 / - / 36587
COUNCIL:	CANTERBURY BANKSTOWN COUNCIL

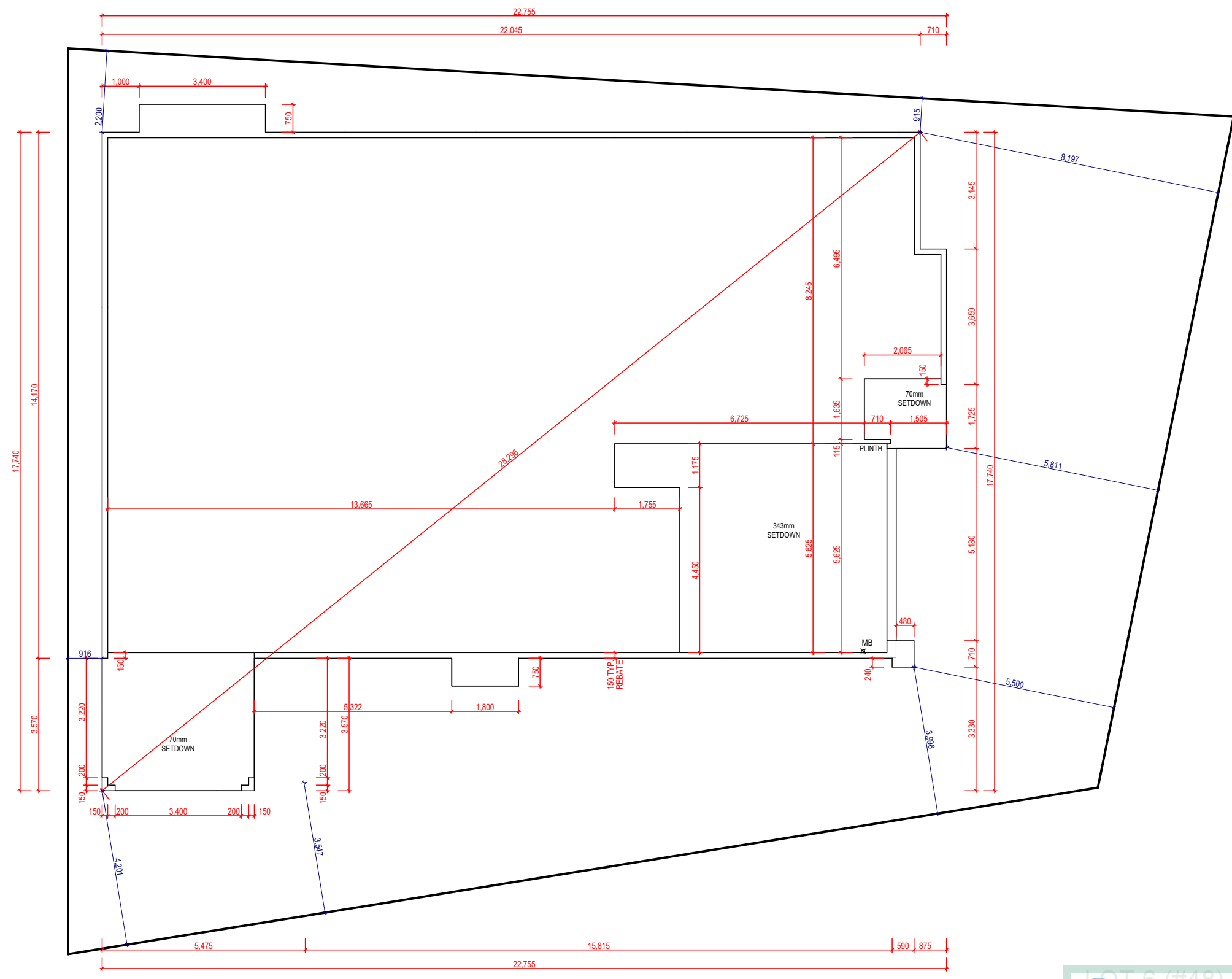
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FACADE DESIGN:	CLASSIC
SHEET TITLE:	FLOOR COVERINGS
SHEET No.:	15 / 18

HOUSE CODE:	H-SESCLAS13400
FACADE CODE:	F-SESCLAS01
SCALES:	1:100

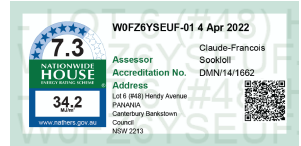
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**606379**

ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



SLAB PLAN  
Scale: 1:125



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COUNCIL:	CANTERBURY BANKSTOWN COUNCIL

HOUSE DESIGN:	SEASIDE RETREAT 16 ONE
FACADE DESIGN:	CLASSIC
SHEET TITLE:	SLAB PLAN
SHEET No.:	16 / 18

HOUSE CODE:	H-SESCLAS13400
FACADE CODE:	F-SESCLAS01
SCALES:	1:125

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ALL EXTERIOR SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.



**DRAINAGE PLAN**  
Scale: 1:125

LEGEND	
B	BASIN
Bth	BATH WASTE
FW	FLOOR WASTE GULLY
Shr	SHOWER
S	SINK (KITCHEN)
Tr.(L)	TROUGH (LAUNDRY)
WC	WATER CLOSET

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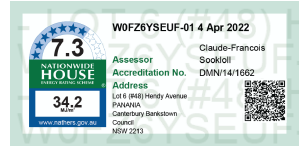
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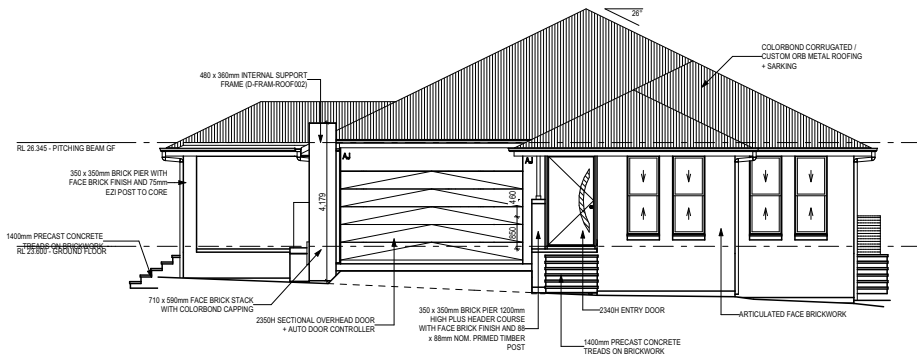
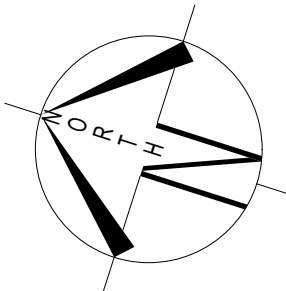
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FACADE DESIGN: <b>CLASSIC</b>
SHEET TITLE: <b>DRAINAGE PLAN</b>
SHEET No.: <b>17 / 18</b>

HOUSE CODE: <b>H-SESCLAS13400</b>
FACADE CODE: <b>F-SESCLAS01</b>
SCALES: <b>1:125</b>

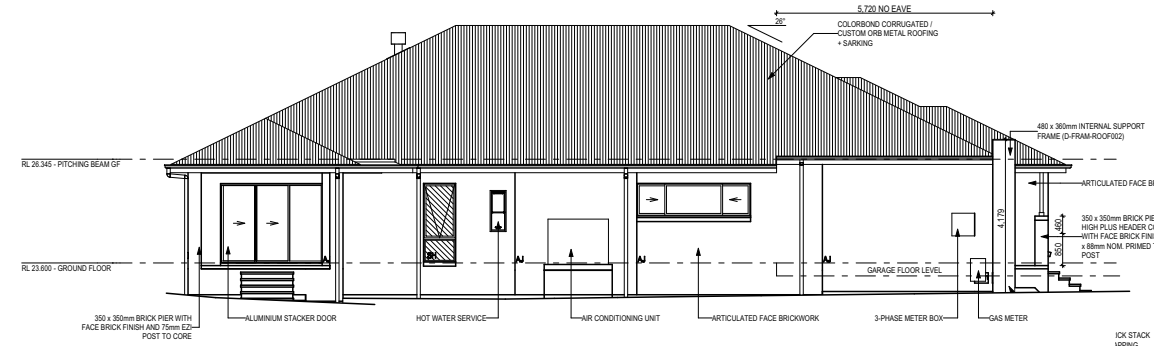
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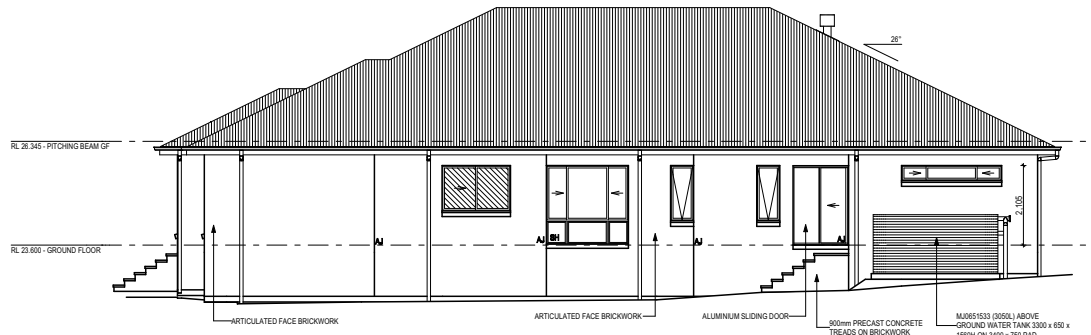
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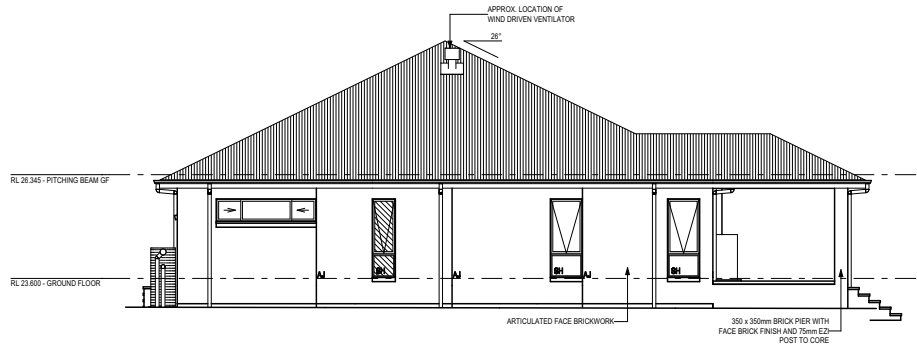
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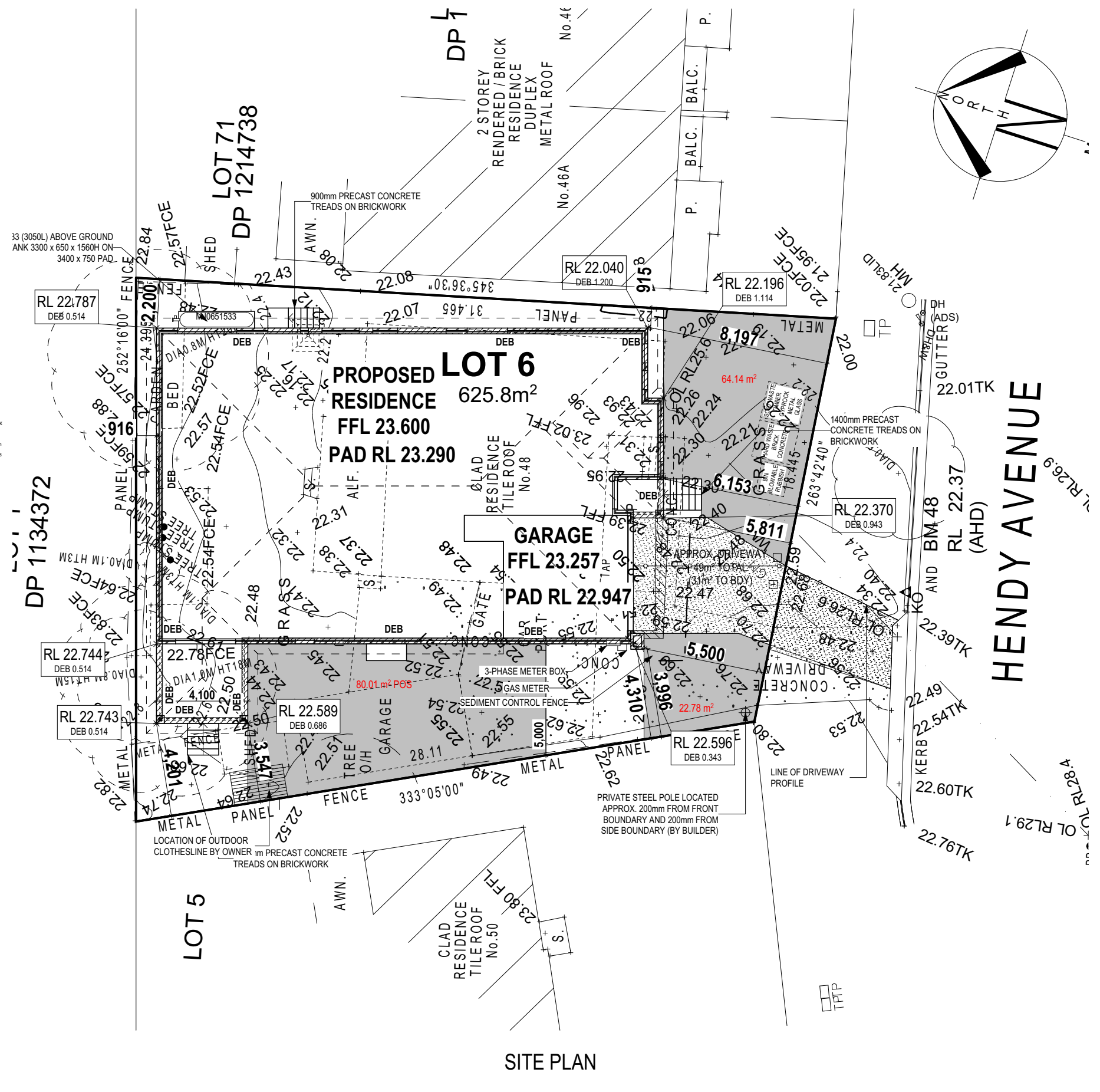
LEFT ELEVATION




RIGHT ELEVATION



REAR ELEVATION



SITE PLAN

 <p><b>mc donald jones</b> YOUR HOME, YOUR DREAM</p>	SPECIFICATION: STUART EVERITT
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 <p>7.3 NATIONAL HOUSE ASSESSOR</p>	<p>WOFZ6YSEUF-01 4 Apr 2022</p> <p>Assessor: Claude-Francois Sookkoll Accreditation No: DIN/141662 Address: Lot 8 (88) Hendy Avenue, Canterbury Bankstown, NSW 2213</p>
<p>34.2</p>	